



NORTHAMPTON
BOROUGH COUNCIL
Planning Committee

PLANNING COMMITTEE: 19th December 2017
DIRECTORATE: Regeneration, Enterprise and Planning
HEAD OF PLANNING: Peter Baguley

APPLICATION REF: N/2017/1270

LOCATION: 53 Park Avenue South

DESCRIPTION: Two storey rear extension, front roof lights and rear dormer windows, two storey front bay, alterations to fenestration details to front and rear elevations, new front brick garden wall and alterations and extension to garage

WARD: Abington Ward

APPLICANT: Mrs Donna Varnsberry
AGENT: Mr David Suter

REFERRED BY: Councillor T Ansell
REASON: Overdevelopment and impact on neighbour

DEPARTURE: No

APPLICATION FOR DETERMINATION:

1. RECOMMENDATION

1.1 **APPROVAL** subject to the conditions as set out below and for the following reason:

The development, subject to conditions, would have a neutral impact upon the character and appearance of the Abington Park Conservation Area and highway safety and would have an acceptable impact on neighbour amenity. The development is therefore in conformity with the requirements of the National Planning Policy Framework, Policies S10, and BN5 of the West Northamptonshire Joint Core Strategy, and Saved Policies E20, E26 and H18 of the Northampton Local Plan, and the Residential and Alterations Design Guide SPD.

2. THE PROPOSAL

- 2.1 The application seeks full planning permission for a two storey rear extension, front roof lights and rear dormer windows, two storey front bay window, alterations to fenestration details to front and rear elevations, new front garden wall, and alterations and extension to garage.
- 2.2 The two storey rear extension would have a flat roof and chamfer to both rear corners. It would measure 6.2 metres in width, 4.2 metres in depth and 6.2 metres in height.
- 2.3 The roof alterations to the existing dwelling comprise two front conservation style roof lights and three flat roof dormer windows to the rear elevation.

- 2.4 The proposed front bay window would be located to the northern side of the front elevation and would be two storey with a flat roof to match the height and design of the existing front bay window.
- 2.5 The alterations to fenestration details include a replacement first floor window to the centre of the front elevation and a new patio door to the rear elevation to infill an existing recessed canopy area.
- 2.6 The new front boundary wall treatment would comprise a 0.7 metre high brick wall with 0.7 metre high railings on top between 1.1 metre high brick pillars.
- 2.7 The alterations and extension to garage would comprise the conversion of the northern third of the existing garage structure into a study/gym, including the insertion of patio doors facing onto the garden, and the erection of a porch style extension to the remaining double garage. The porch extension to the garage would be located in the rear garden adjacent to the northern side boundary and would have a flat roof. It would measure 2.3 metres in width, 1.8 metres in depth and 2.4 metres in height.
- 2.8 The proposal has been amended since its submission. The application originally proposed front dormers and a single storey bay with first floor balcony and these additions have been replaced by the front roof lights and two storey bay window. In addition, a new roof extension was proposed to the existing garage, incorporating first floor accommodation, and this element of the proposal has also been omitted with a new garage porch and part conversion of the garage to a study instead.

3. SITE DESCRIPTION

- 3.1 The application site is located to the western side of Park Avenue South and falls within the Abington Park Conservation Area. It comprises a mid-terraced two storey terraced dwelling with brick and roughcast/pebbledash rendered elevations and a tiled roof. The application property benefits from a two storey bay window to the southern side of the front elevation and a single storey flat roof projection to the rear elevation adjoining the southern side boundary, with a double and single garage to the rear of the plot.
- 3.2 The application property is neighboured by No. 53 Park Avenue South to the north and No. 55 Park Avenue South to the south. Abington Park is located to the front of the site, on the far side of Park Avenue South, and there is a shared access drive / service road to the rear of the site which serves the rear of properties fronting both Park Avenue South and Garrick Road. Nos. 17, 19 and 21 Garrick Road back on the shared access drive immediately to the rear of the site.
- 3.3 Properties in the locality are generally from the early years of the 20th century and are strongly influenced by crafts based building traditions, and include a number of buildings by Scottish architect Alexander Anderson (such as No. 55). The application property is in a row where every building is individually designed and built separately, with the buildings making extensive use of features such as boldly projecting bay windows, gables and porches to assert their individuality, with the use of common materials such as brick and tiles, and render helps to unify the group. Although, the application property is relatively simple in design compared to its neighbours and as such appears relatively innocuous in the streetscene.

4. PLANNING HISTORY

- 4.1 None relevant.

5. PLANNING POLICY

5.1 **Statutory Duty**

Section 38(6) of the Planning and Compulsory Purchase Act 2004 requires a planning application to be determined in accordance with the Development Plan unless material planning considerations indicate otherwise. The Development Plan for the purposes of this application comprises the adopted West Northamptonshire Joint Core Strategy (2014) and Northampton Local Plan (1997) saved policies.

Section 72 of the Planning (Listed Buildings and Conservation Areas) Act 1990 requires Local Planning Authorities when considering development to pay special attention to the desirability of preserving or enhancing the character or appearance of a conservation area.

5.2 **National Policies**

The National Planning Policy Framework (NPPF) sets out the current aims and objectives for the planning system and how these should be applied. In delivering sustainable development, decisions should have regard to the mutually dependent social, economic and environmental roles of the planning system. The NPPF should be read as one complete document. However, the following sections are of particular relevance to this application:

Paragraphs 6, 7, 8 and 14 set out that the presumption is in favour of sustainable development.

Paragraph 17 details the core planning principles and these include to always seek to secure high quality design and a good standard of amenity for all existing and future occupants of land and buildings.

Paragraph 32 details that decisions should take account of whether safe and suitable access to the site can be achieved for all people and that development should only be refused on transport grounds where the impacts of development are severe.

Section 7 requires good design.

Section 12 seeks to conserve heritage assets in a manner appropriate to their significance and advises that great weight should be given to an asset's conservation.

5.3 **West Northamptonshire Joint Core Strategy (2014)**

The West Northamptonshire Joint Core Strategy (JCS) provides an up to date evidence base and considers the current Government requirements for plan making as it has been prepared in full conformity with the NPPF. Policies of particular relevance are:

Policy S10 requires development to satisfy a range of sustainable development principles.

Policy BN5 designated and non-designated heritage assets and their settings will be conserved and enhanced.

5.4 **Northampton Local Plan 1997 (Saved Policies)**

Due to the age of the plan, the amount of weight that can be attributed to the aims and objectives of this document are diminished, however, the following policies are material to this application:

Policy E20 requires the design (including layout, siting, form, scale and materials) of new buildings to reflect the character of its surroundings and ensure adequate standards of residential amenity.

Policy E26 requires new development to preserve or enhance character and appearance of conservation areas.

Policy H18 details that extensions will be granted subject to the design and appearance of the extension and its relationship to the existing area being acceptable and the effect upon adjoining properties.

5.5 **Supplementary Planning Documents**

Northamptonshire Parking Standards (September 2016)
Planning out Crime in Northamptonshire SPG 2004
Residential Extensions and Alterations Design Guide SPD

5.6 **Other Material Considerations**

Abingdon Park Conservation Area Assessment 2005

6. **CONSULTATIONS / REPRESENTATIONS**

Comments received are summarised as follows:

6.1 **Councillor Tony Ansell** – Called this application in to be heard at Committee on the basis that it causes over development and would have a negative impact on No. 51 Park Avenue South.

6.2 **NBC Conservation Officer** - No objection on conservation grounds to the revised plans, which delete the previously proposed dormers and balconies from the front elevation. As now proposed, the alterations to the front elevation will have a limited and acceptable impact on the street scene within the Conservation Area.

6.4 12 third party letters of objections were received to the application as originally submitted. These letters included the following points:

- The overall extension to the house is disproportionately large in scale in comparison to the size of the house, garden and plot.
- The proposals would dominate and overwhelm the architecturally distinctive No. 55 Park Avenue South.
- The three front dormers would appear too congestion for the pitch of the existing roof (Officer Note: The application has been amended to replace the front dormers with roof lights).
- The three rear dormers would appear oppressive and look down directly into the neighbouring garden of No. 55 Park Avenue South.
- The two storey rear extension due to its large size would result in a loss of daylight to the adjacent ground floor and first floor rooms at No. 51 Park Avenue South and would also be overbearing, intrusive and result in overshadowing such that it would adversely impact on the enjoyment of the garden at this property.
- The side window in the two storey side extension would overlook the garden at No. 55 and the extension would reduce the daylight to a side kitchen window at this property.
- The first floor windows in the rear extension and new rear dormer windows would overlook the rear garden of No. 51 Park Avenue South.
- The two storey extension would be an overbearing building that would dominate the skyline and reduce the light and privacy of many properties on Garrick Road.
- Proposal would change the outlook of properties on Garrick Road and is not in keeping with the character of the area.
- The proposal would be overdevelopment and set a precedent for other proposals in the area.
- Adding further parking demand to this area is an issue.
- Conservation Area will be affected by inappropriate structures; proposal is a disregard for the historical significance of the area.

- The roof extension to the garage would be large and overpowering, overlooking and reducing the light to rear gardens of properties in Garrick Road and the side neighbours to Park Avenue South, and likely used as and would have the appearance of an independent house (Officer Note: The application has been amended to omit this element of the proposal)
- 6.5 In addition, a third party letter of observation was received in response to the application as originally submitted. This letter suggested that the resulting garage would appear to have the appearance of a dwelling.
- 6.6 Following the amendments of the application, which included the omission of the roof extension to the garage and the replacement of the previously proposed front dormers and first floor front balcony with roof lights and a two storey bay window (as detailed above), a further 2 third party letters of objection have been received. These letters include the following points:
- Any change to the size of the existing garage is objectionable.
 - The retention of the proposed rear dormers and two storey rear extension would result in the development still being overdevelopment and impinging on the privacy of the small gardens at the back.
 - The two storey extension is unchanged and therefore its impact on neighbours is unchanged, particularly the outlook from the habitable rooms from No. 51 Park Avenue South; the extension would contravene the Council's 45 degree line guidance.

7. APPRAISAL

Principle of development

- 7.1 The proposal is for ancillary development to the existing residential use of the application property and is therefore acceptable in principle.

Heritage and design

- 7.2 The application property is located in the Abington Park Conservation Area and, as such, special attention must be paid to the desirability of preserving or enhancing the character or appearance of the Conservation Area, with great weight given the conservation of the heritage asset.
- 7.3 The proposed two storey front bay window has been designed to match the size and design of the existing front bay window and would result in the application property having a symmetrical and well balanced appearance that would reflect other properties in the locality. The front roof lights would be conservation style and, given that the neighbouring property to the south (No. 51 Park Avenue South) benefits from multiple roof lights to the front elevation, it is considered that the two new roof lights would not appear out of place in the streetscene. In addition, No. 51 also benefits a low brick wall with railings between brick piers similar to the current proposal.
- 7.4 Turning to the proposals to the rear of the site, the rear of the application property is less visible from public vantage points due to the access drive running along the rear of Park Avenue South, being lined by garages and relatively high boundary walls. In any event, the proposed porch extension to the garage is small in size with a flat roof design to match the existing garage. The two storey rear extension is relatively large with a flat roof, however flat roofed projections are found in the Conservation Area and the extension would have generous chamfers to the rear corners that would help soften the scale of the extension and reflect the character of projections on properties in the locality. The three dormer windows would provide quite a busy roof slope, however the dormers would be on the rear roof slope. In addition, other properties in the vicinity of the site benefit from dormer windows, including a large box dormer on the rear roof slope of No. 49 Park Avenue South to the south, and the provision of three smaller dormers is preferable to such a large addition. Whilst the porch extension to the garage and two storey rear extension

to the dwelling would both encroach into the garden area, these additions would be located to opposite corners of the garden and as such the proposals would not result in an unduly cramped form of development.

- 7.5 Overall, in light of the above and having regard to the statutory duties and government guidance as set out above, it is considered that the proposed additions both individually and cumulatively would preserve the character and appearance of the Conservation Area.

Residential amenity

- 7.6 In respect to residential amenity, the new and enlarged rooms that would be provided as part of the proposal would all be served by windows and as such, and given that a useable area of private amenity space would remain to the rear of the property, the proposed development would provide adequate amenity for future occupiers.
- 7.7 With regard to the amenity of neighbouring properties, the proposed works to the front of the property would not have an adverse impact.
- 7.8 Turning to the proposed development to the rear of the site, the proposal has been amended to remove the new roof and associated first floor accommodation to the existing garage to seek to reduce the impact of the proposals on the amenity of neighbours. The revised garage proposals, comprising the conversion of part of the garage to a study and a small porch, would not have a significant impact on the amenity of any neighbouring property.
- 7.9 The new second floor rear dormers on the dwelling would be over 28 metres from the two storey rear elevations of the backs of properties on Garrick Road and the two storey rear projection would be some 24 metres from the backs of these properties. As such, it is considered that the new dormers and rear extension would not adversely impact on the amenity of the occupiers of properties on Garrick Road.
- 7.10 With respect to the impact of the proposed rear dormers and two storey rear extension on the side neighbours (Nos. 51 and 53 Park Avenue South), the application property already benefits from rear facing windows and it is considered that the additional rear facing windows in the dormers and two storey extension would not unacceptably change the privacy enjoyed by the occupiers of these neighbouring properties. However, it is recommended that conditions are imposed to require the window in the chamfer to the northern side to be obscure glazed and to also, for the avoidance of any doubt, prevent the insertion of any additional windows at first floor level in the two storey extension. Furthermore, the proposed two storey extension is set away from No. 55 such that it would not significantly impact on this neighbour from a visual or daylighting perspective. The extension would run parallel with the boundary with No. 51, however the dwelling at this neighbouring property is set further back in its plot than the application dwelling and the extension has also been designed with a chamfer to limit the impact on this property. Furthermore, based on officer site measurements and the applicant's plans, the proposal would not impinge on a 45 degree line drawn from the quarter point of the ground floor patio doors of No. 51. As such, and given that the extension is located to the northern side of No. 51, it is considered that this two storey addition would not have an objectionable impact on No. 51 in terms of visual appearance or the level of daylight received by this property.
- 7.11 Overall, it is considered that the proposal would provide a good standard of amenity for future occupiers and would not have an objectionable impact with regard to the amenity of any neighbouring property.

Parking and highway safety

- 7.12 Apart from the rear garage, there is no other on-site parking facility to serve the development. The existing property benefits from four bedrooms and as such, and mindful that standard garages are not counted as parking spaces under the Parking Standards, the proposal would have no further parking or highway safety implications as no additional number of bedrooms is proposed.

8. CONCLUSION

- 8.1 The development, subject to conditions, would have a neutral impact upon the character and appearance of the Abington Park Conservation Area and the highway safety and an acceptable impact on neighbour amenity. The development is therefore in conformity with the requirements of the National Planning Policy Framework, Policies S10, and BN5 of the West Northamptonshire Joint Core Strategy, and Saved Policies E20, E26 and H18 of the Northampton Local Plan, and the Residential and Alterations Design Guide SPD.

9. CONDITIONS

- 1 The development hereby permitted shall be begun before the expiration of three years from the date of this permission.

Reason: To comply with Section 91 of the Town and Country Planning Act 1990.

2. The development hereby permitted shall be carried out in accordance with the following approved plans: PA4 Issue 4, PA5 Issue 4, PA6 Issue 3, and PA10 Issue 2.

Reason: For the avoidance of doubt and to accord with the terms of the planning application.

3. Prior to the commencement of the construction of the new boundary wall hereby permitted, full details of the brickwork and metal railings for the boundary wall shall be submitted to and approved in writing by the Local Planning Authority. The development shall be carried out in accordance with the approved details.

Reason: In the interests of visual amenity to ensure that the extension harmonises with the existing building and preserves the character of the conservation area in accordance with Policies H18, E20 and E26 of the Northampton Local Plan and Policy BN5 of the West Northamptonshire Joint Core Strategy

4. The external walls and roof of the front bay window and rear extension to the dwelling hereby permitted shall be constructed with materials of the same type, texture and colour as the external walls and roof of the existing building.

Reason: In the interests of visual amenity to ensure that the extension harmonises with the existing building and preserves the character of the conservation area in accordance with Policies H18, E20 and E26 of the Northampton Local Plan and Policy BN5 of the West Northamptonshire Joint Core Strategy.

5. The window frames in the front bay window hereby permitted shall be timber and painted white to match the window frames in the existing bay window to the front elevation of the application property.

Reason: In the interests of visual amenity to ensure that the extension harmonises with the existing building and preserves the character of the conservation area in accordance with Policies H18, E20 and E26 of the Northampton Local Plan and Policy BN5 of the West Northamptonshire Joint Core Strategy.

6. The roof lights hereby permitted shall be conservation type and have no parts that project above the plane of the roof

Reason: In the interests of visual amenity to ensure that the extension harmonises with the existing building and preserves the character of the conservation area in accordance with Policies H18, E20 and E26 of the Northampton Local Plan and Policy BN5 of the West Northamptonshire Joint Core Strategy.

7. The external walls/cheeks of the dormers hereby approved shall be constructed with materials of the same type, texture and colour as the external roof of the existing building or in accordance with materials that have first been submitted to and approved in writing by the Local Planning Authority.

Reason: In the interests of visual amenity to ensure that the extension harmonises with the existing building and preserves the character of the conservation area in accordance with Policies H18, E20 and E26 of the Northampton Local Plan and Policy BN5 of the West Northamptonshire Joint Core Strategy.

8. The north west facing first floor window in the chamfer of the proposed two storey rear extension hereby permitted shall be glazed with obscured glass to Level 3 or higher of the Pilkington scale of privacy or equivalent as may be agreed in writing by the Local Planning Authority before the development hereby permitted is first occupied and thereafter retained in that form at all times.

Reason: To safeguard the privacy of the adjoining property in accordance with Saved Policies E20 and H18 of the Northampton Local Plan.

9. Notwithstanding the provisions of the Town and Country Planning (General Permitted Development) (England) Order 2015 (or any order revoking and re-enacting that Order with or without modification), no additional windows shall be installed at first floor level in the proposed two storey extension hereby permitted.

Reason: To safeguard the privacy of adjoining properties in accordance with Saved Policies E20 and H18 of the Northampton Local Plan.

10. The external walls and roof of the garage extension shall be constructed with materials of the same type, texture and colour as the external walls and roof of the existing building.

Reason: In the interests of visual amenity to ensure that the extension harmonises with the existing building and preserves the character of the conservation area in accordance with Policies H18, E20 and E26 of the Northampton Local Plan and Policy BN5 of the West Northamptonshire Joint Core Strategy.

10. BACKGROUND PAPERS

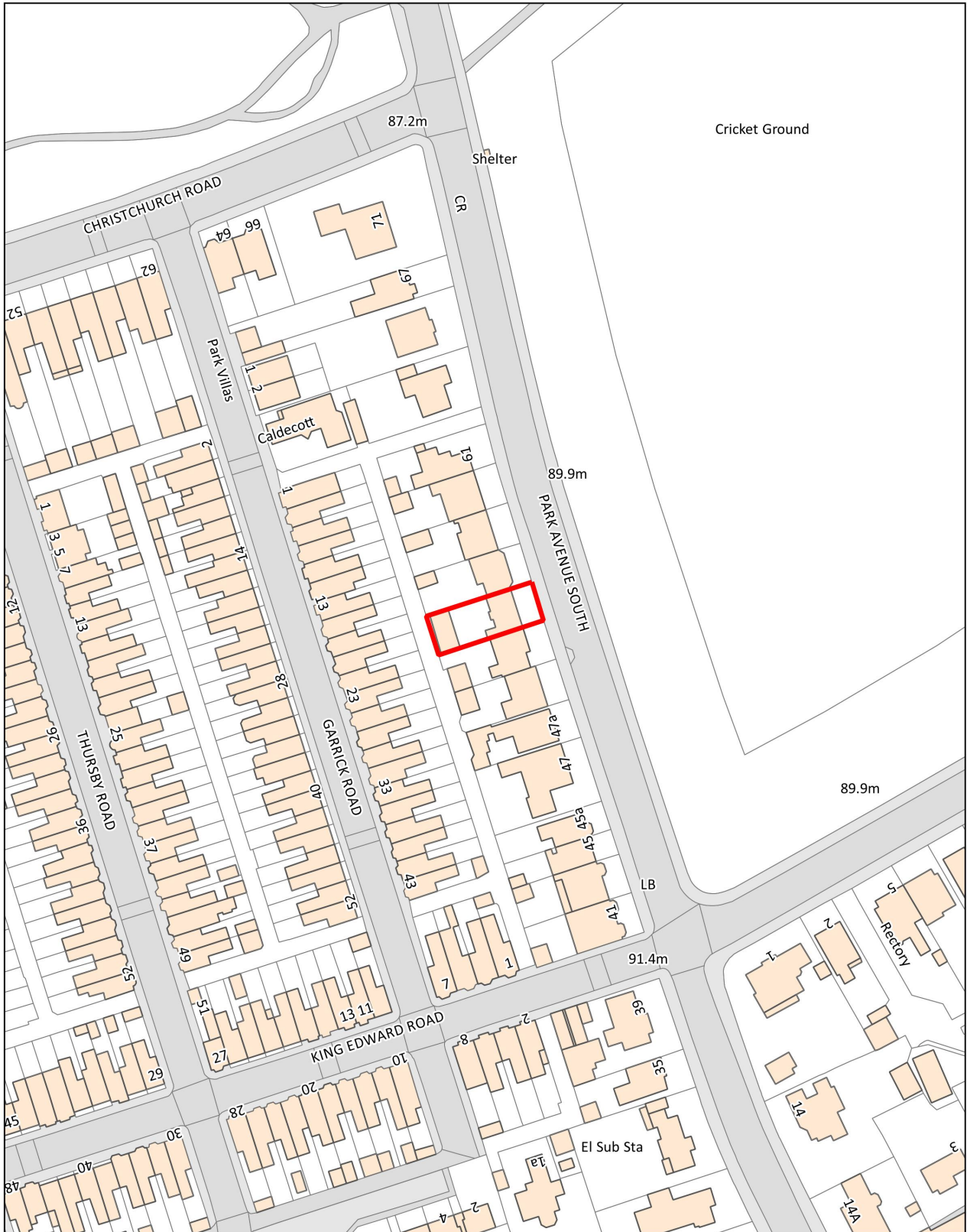
- 10.1 None.

11. LEGAL IMPLICATIONS

- 11.1 The development is not CIL liable.

12. SUMMARY AND LINKS TO CORPORATE PLAN

- 12.1 In reaching the attached recommendations regard has been given to securing the objectives, visions and priorities outlined in the Corporate Plan together with those of associated Frameworks and Strategies.



Title: **53 Park Avenue South**

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Date: 05-12-2017

Scale: 1:1,250

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