



NORTHAMPTON
BOROUGH COUNCIL
Planning Committee

PLANNING COMMITTEE:	21 st November 2017
DIRECTORATE:	Regeneration, Enterprise and Planning
HEAD OF PLANNING:	Peter Baguley
APPLICATION REF:	N/2017/1391
LOCATION:	8 Toms Close
DESCRIPTION:	Demolish existing single storey element and construct new single storey rear extension
WARD:	Nene Valley Ward
APPLICANT:	Mr Chris Wood
AGENT:	T R Dobraszczyk
REFERRED BY:	Head of Planning
REASON:	Council owned land
DEPARTURE:	No

APPLICATION FOR DETERMINATION:

1. RECOMMENDATION

1.1 **APPROVAL** subject to the conditions as set out below and for the following reason:

The proposed development, due to its siting, design and scale, would not result in any adverse impact on the character of the existing dwelling and wider area. The proposed development would not have any adverse impact on the amenity of adjacent occupiers and would accord with the saved Policies H18 and E20 of the Northampton Local Plan, Policy S10 of the West Northamptonshire Joint Core strategy, the Council's Residential Extensions and Alterations Design Guide and the aims and objectives of National Planning Policy Framework.

2. THE PROPOSAL

2.1 The application seeks planning permission for the demolition of the existing outbuilding and erect a single storey rear extension. The extension would be 6.15m deep and 8.55m wide and will have a flat roof with a velux roof light.

2.2 The proposal will remove the cock plank cladding and resurface the building with red brick.

3. SITE DESCRIPTION

3.1 The application site consists of semi-detached two storey house, owned by Northampton Borough Council, which is located in a cul-de-sac with similar semi-detached pairs. The application site has a large rear garden.

3.2 The local area is predominantly residential.

4. PLANNING HISTORY

4.1 None.

5. PLANNING POLICY

5.1 Statutory Duty

Section 38(6) of the Planning and Compulsory Purchase Act 2004 requires a planning application to be determined in accordance with the Development Plan unless material planning considerations indicate otherwise. The Development Plan for the purposes of this application comprises the adopted West Northamptonshire Joint Core Strategy (2014), Northampton Local Plan (1997) saved policies.

5.2 National Policies

The National Planning Policy Framework (NPPF) sets out the current aims and objectives for the planning system and how these should be applied. In delivering sustainable development, decisions should have regard to the mutually dependent social, economic and environmental roles of the planning system. The NPPF should be read as one complete document. However, the following section is of particular relevance to this application:

Section 7 – Requiring Good Design.

5.3 West Northamptonshire Joint Core Strategy (2014)

The West Northamptonshire Joint Core Strategy (JCS) provides an up to date evidence base and considers the current Government requirements for plan making as it has been prepared in full conformity with the NPPF. Policy of particular relevance is:

Policy S10 – Sustainable Development Principles – development will achieve the highest standards of sustainable design, incorporating safety and security considerations and a strong sense of place.

5.4 Northampton Local Plan 1997 (Saved Policies)

Due to the age of the plan, the amount of weight that can be attributed to the aims and objectives of this document are diminished, however, the following policies are material to this application:

E20 – allows for new development providing that the design reflects the character of its surroundings in terms of layout, siting, form, scale & appropriate use of materials and that the proposal is designed and located to ensure adequate standards of privacy, daylight and sunlight.

H18 – allows for house extensions provided design is acceptably in keeping with character and appearance of the host dwelling; and having regard to the effect upon adjoining properties.

5.5 Supplementary Planning Documents

Northamptonshire Parking Standards (September 2016)

Residential Extensions and Alterations Design Guide

6. CONSULTATIONS/ REPRESENTATIONS

6.1 None received.

7. APPRAISAL

7.1 The two main issues to be considered would be impact on the character of the original house and local area and the impact on the residential amenity of the neighbouring properties.

Design and appearance

7.2 The proposal includes the demolition of an existing outbuilding and erection of a single storey structure for an extended kitchen and dining room with a flat roof. The extension would increase the footprint of the original dwelling, but owing to the size of the application site with a large rear garden, it is not considered that the proposal would lead to overdevelopment of the site.

7.3 The cul-de-sac has predominantly semi-detached properties, mainly owned by the Council and managed by Northampton Partnership Homes (NPH). NPH has proposed that all the Council owned properties in the cul-de-sac to be resurfaced with red brick cladding. The proposed extension will therefore have a brick finish to match the proposed red brick finish for the main house. It is considered that the proposed extension would integrate with the existing dwelling and the wider area. A condition is recommended to ensure that sample of materials is to be submitted for approval.

Impact on the residential amenity

7.4 The proposed single storey extension would replace the existing outbuilding to the area. The adjoining neighbouring property at no. 7 has a similar outbuilding in the rear garden. The proposed extension will be 6.25m deep, which will be 0.25m deeper than the existing structure. It is considered that there will be no adverse impact on no.7 resulting from the proposed extension.

7.5 Due to the location of the application property at an oblique angle with the neighbouring property at no.9, the proposed extension would have minimal impact on the residential amenity of this property. Moreover, there are existing garages between the two properties, which would further screen the proposed extension from no.9.

7.6 There are no properties directly to the rear of the site. Due to the location of the proposed extension, it is not considered that the proposal would lead to any undue overbearing or adverse visual impact on the neighbouring properties at nos. 7 and 9 Toms Close.

Highway Safety

7.7 The proposed development would not result in any additional bedroom. Therefore there will be no additional parking requirement resulting from the proposed extension. It is considered that the proposed development would have a neutral impact on highway safety.

8. CONCLUSION

8.1 The proposed development for single storey rear extension is of a scale and design appropriate to the main dwelling and surrounding area and would not lead to any undue impact on the residential amenity of the neighbouring properties or highway conditions. The proposal would be in accordance with Policies S10 of the West Northamptonshire Joint Core Strategy, saved policies H18 and E20 of the Northampton Local Plan, the Council's Residential Extensions and Alterations Design Guide Supplementary Planning Document and advice given within the National Planning Policy Framework.

9. CONDITIONS

1. The development hereby permitted shall be begun before the expiration of three years from the date of this permission.

Reason: To comply with Section 91 of the Town and Country Planning Act 1990.

2. The development hereby permitted shall be carried out in accordance with the following approved plans: 2446/1, 2446/2A, Site Location Plan.

Reason: For the avoidance of doubt and to accord with the terms of the planning application.

3. Prior to the commencement of development, details of all proposed external facing materials shall be submitted to and approved in writing by the Local Planning Authority. Development shall be carried out in accordance with the approved details.

Reason: In the interests of visual amenity and to ensure that the development will harmonise with its surroundings in accordance with Policy E20 of the Northampton Local Plan. This is a pre-commencement condition to ensure timely submission of details.

10. BACKGROUND PAPERS

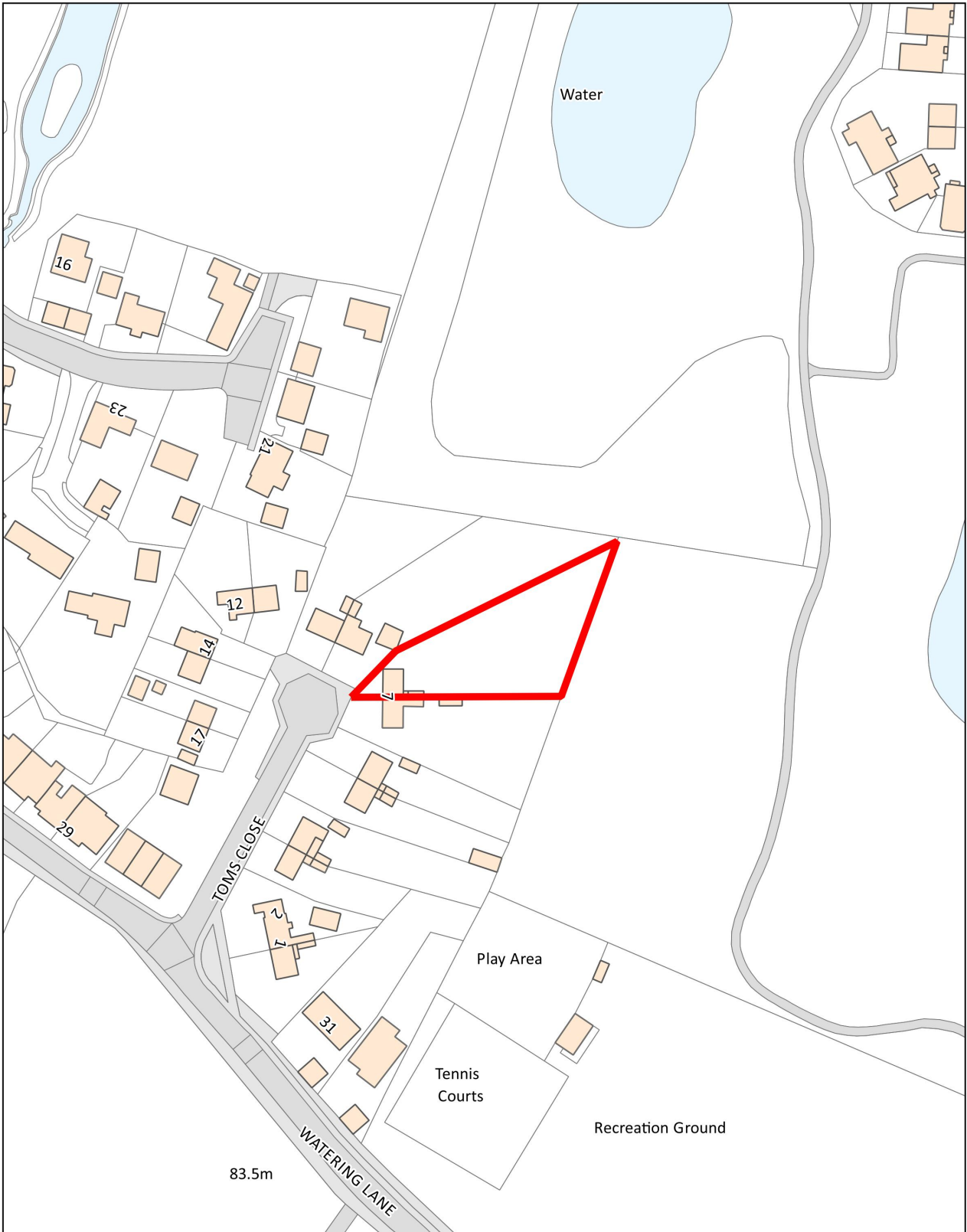
- 10.1 N/20171391.

11. LEGAL IMPLICATIONS

- 11.1 The development is CIL liable.

12. SUMMARY AND LINKS TO CORPORATE PLAN

- 12.1 In reaching the attached recommendations regard has been given to securing the objectives, visions and priorities outlined in the Corporate Plan together with those of associated Frameworks and Strategies.



Title: **8 Toms Close**

© Crown copyright and database rights 2016 Ordnance Survey licence no. 10019655

Date: 13-11-2017

Scale: 1:1,250

Drawn by: -----